

OXFORD COUNTY

Agricultural Zoning Review

Initiation of the updates to amend the Township Zoning By-Law

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Purpose and Intent

- To update the Township Zoning By-Law to support implementation of the agricultural policy updates to the Official Plan (OPA 269)
- Requirement for Council to formally initiate a review and update to the Zoning By-Law as per the Planning Act
- Purpose of review and update to the Zoning:
 - To support more consistent interpretation and clarity within the agricultural/rural zoning categories
 - To help improve processes and requirements for development applications, where required
 - To update related technical matters in the Zoning By-Laws

Proposed Agricultural Zoning Framework

Type	Symbol	Zone
Agricultural Zones	A1*	Undersized Agricultural
	A1-ND*	Undersized Agricultural – No Development Permitted
	A2*	Agricultural
	A3†	Agricultural – No New Dwelling Permitted
	OFD-† AR-†	On-Farm Diversified Use (Site-Specific/Overlay Zone) Agriculture-Related Use (Site-Specific/Overlay Zone)
Residential Zones	RR*	Rural Residential
	RC†	Rural Cluster
	REU†	Rural Entrepreneurial Use
Retained Zones	AB*	Will be limited to those existing Agri-Business zones as of [date By-Law passed].

* Existing zone with revisions proposed.

† New zone to be introduced.

Agricultural and Rural Residential Zone Review

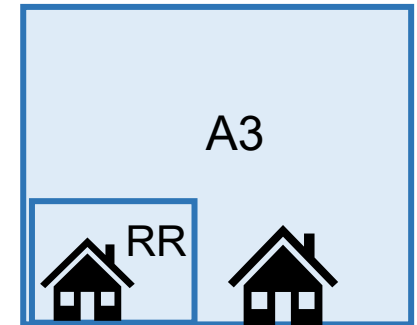
- Re-assess and rezone A1/A2 to align with minimum lot sizes in the OP

Zone Code	Zone Name (Revised)	Lot Area	Development Permissions
A1	Undersized Agricultural	Less than 16 ha	Existing undersized lot already containing built development (i.e., dwellings, farm buildings)
A1- ND	Undersized Agricultural – No Development	Less than 16 ha	No development exists on the lot to date, requires rezoning
A2	Agricultural	16 ha or greater	Dwellings and farm buildings permitted as of right

- Re-assess and rezone rural residential lots (RR, RE, ER zones) based on location, either inside or outside a settlement area (i.e., rural cluster)
 - Rural residential lots will be contained into two zoning categories:
 - Rural Residential (RR) zones which are lots located outside of a settlement area and/or rural cluster and Rural Cluster (RC) zones which are lots located within a designated rural cluster

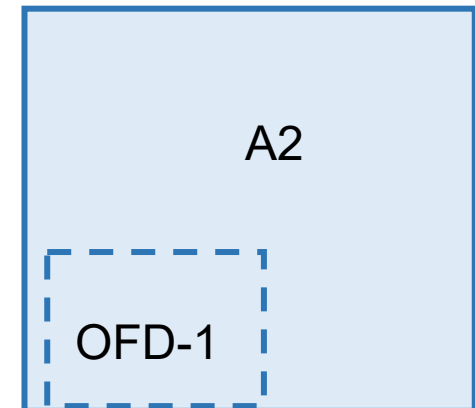
Surplus Farm Dwelling Severances

- OP now allows for a surplus farm dwelling to be severed from a farm lot with two or more homes built before Dec 1995, where the multiple farm lots may not abut
- PPS and OP require rezoning the retained farm lot to prohibit future dwelling construction (**note: not a new requirement**)
 - **New approach**/zone category proposed to reflect this provision (e.g., A3) will make it easier for the area municipalities to implement the required Provincial restrictions and consistently identify and track these lots across the landscape
 - Severed lot containing the surplus dwelling would continue to be rezoned RR
 - Would prohibit all new detached dwellings in the A3 zone (including ARUs accessory to an existing dwelling)



On-Farm Diversified Uses (OFD Zone)

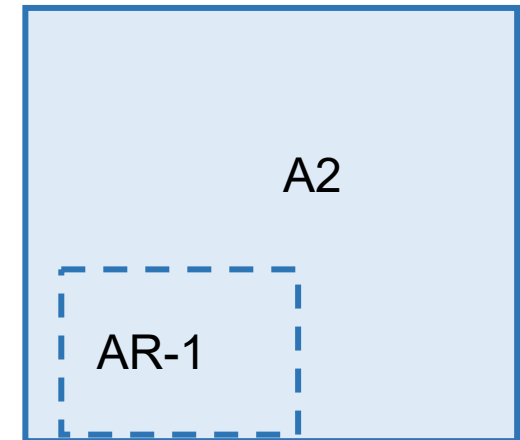
- To be permitted on A2 lots only (to align with minimum lot size >16 ha)
- Rezoning required, proposed site specific/ overlay zone for the area the OFDU is permitted on (e.g., OFD-#)
- Potential Zoning Provisions:
 - Provisions to determine eligible lots (i.e., bona fide farmers)
 - Limited in size and scale as per OP
 - Limitations on gross floor area
 - Re-use existing/locate new buildings within the farm building cluster
 - Definitions and supporting diagrams to be included in the Zoning By-Law



Agriculture-Related Uses (AR Zone)

- Agriculture-related uses now permitted in OP
- To be permitted on AB, A1, or A2 lots
- Proposed overlay zone (e.g., AR-#)
- Rezoning required, proposed Special Provision Overlay (e.g., AR-#)

- Potential Zoning Provisions:
 - Prohibited uses in the OP
 - Ensure AR use is limited in size to minimum needs
 - Maximum lot coverage relative to lot size



Agribusiness (AB) Zone

- AB Zone is proposed to be retained but will be limited to existing sites/properties only
- Existing AB sites present opportunities as potential locations to direct new agriculture-related uses as these lots typically contain existing non-agricultural development
- Considering adding agricultural uses as a permitted use for AB zone generally (farming not currently permitted)
- New agriculture-related uses will go to a different zoning category (i.e., AR-) when proposed on new/alternative sites
 - A standardized zoning approach will need to be considered for new non-ag uses proposed in the agricultural area, as per OP and PPS policies
- Overall goal is to bring uses on existing AB Zoned sites into greater conformity with the OP over time

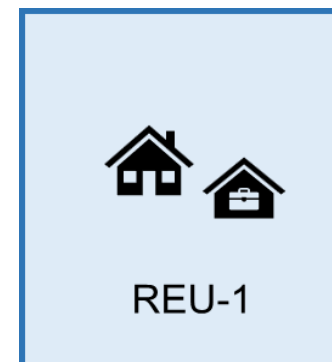
Secondary Residential Uses

Home Occupations

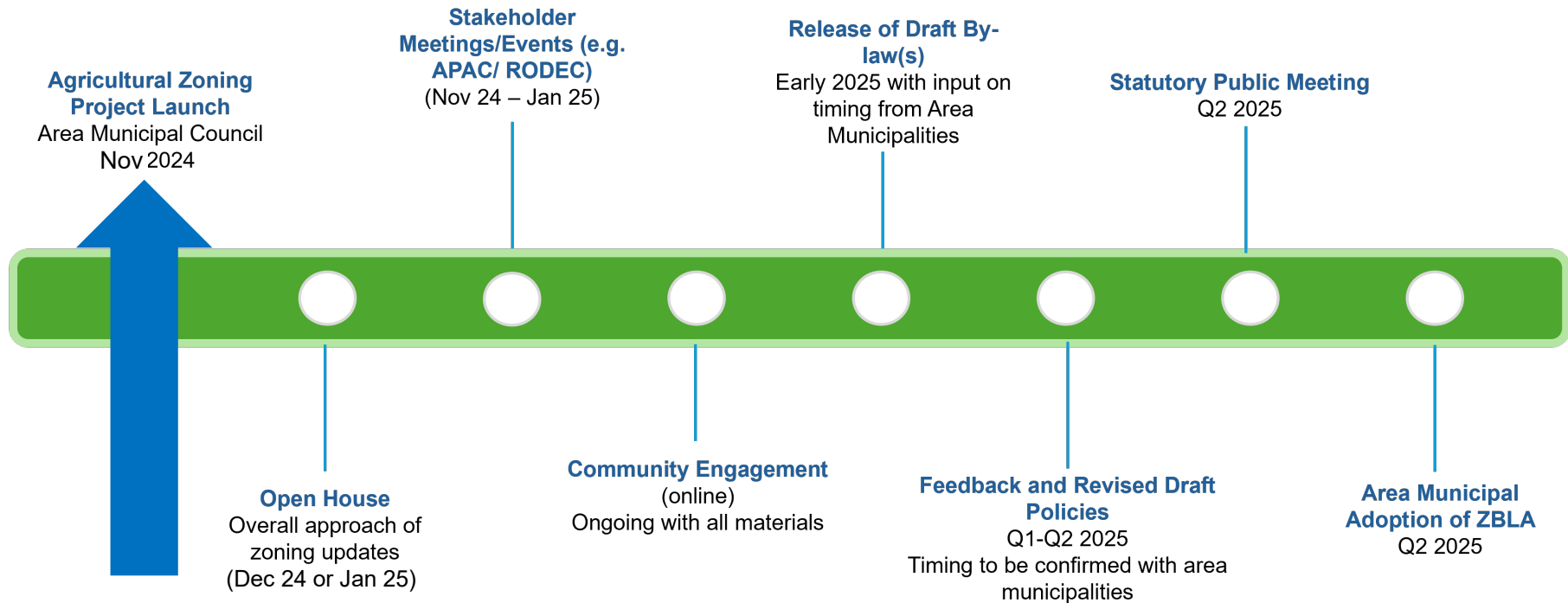
- Home Occupations permitted 'as of right' on any lot with a dwelling
- Any changes will build from updates to HO provisions through housekeeping amendments (where completed)
- Zoning to update existing provisions to include:
 - Permitted and prohibited uses;
 - Criteria to establish small-scale and secondary nature

Rural Entrepreneurial Use (REU)

- Add a new zone category (REU-#) to rezone existing RR lots where an REU is proposed.
- Permitted uses and prohibited uses to be established in Zoning By-Law
- Requires a site-specific amendment to the Zoning By-Law which meets key Official Plan policy criteria (zoning can be more restrictive).



Milestone Map



Questions?

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