



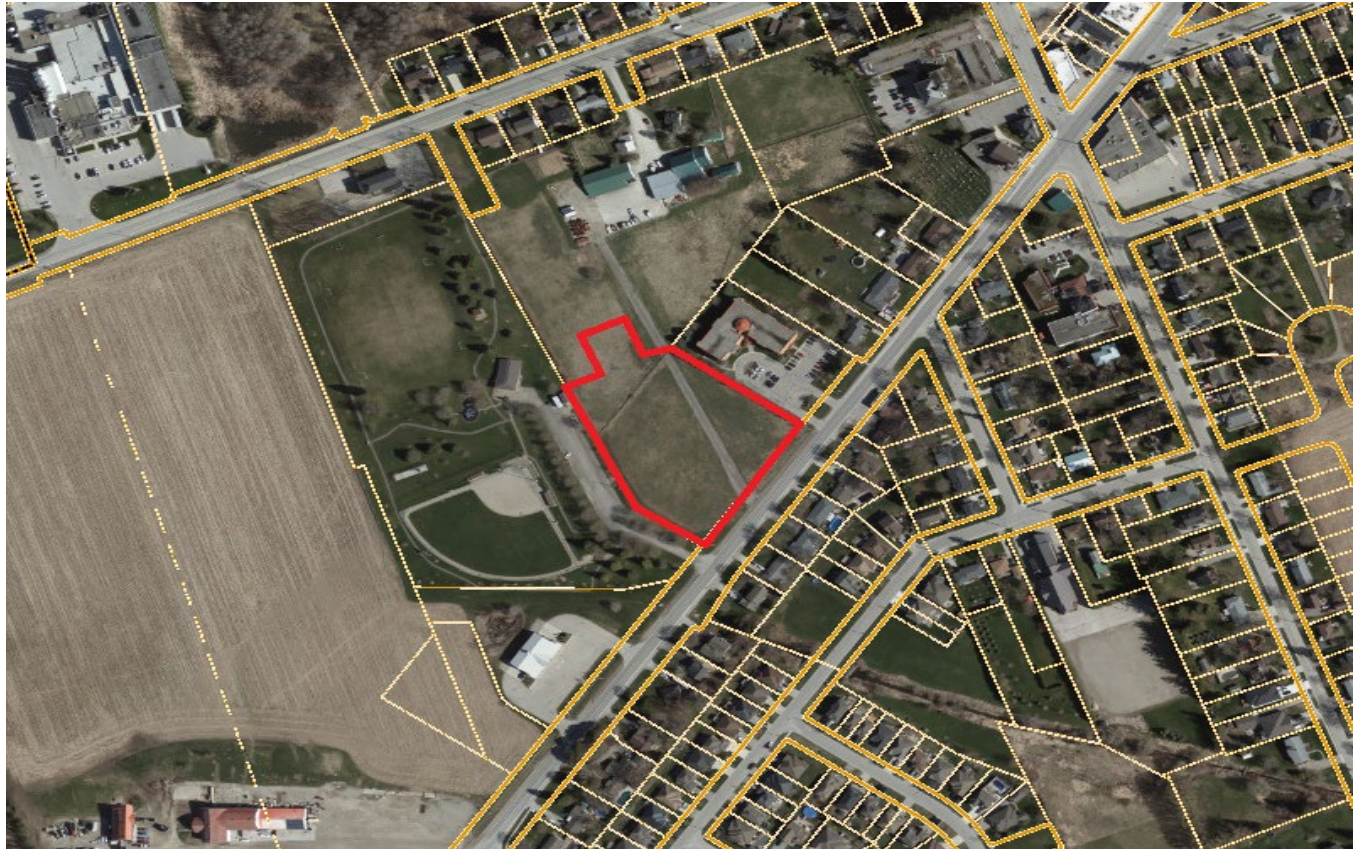
PATTERSON
PLANNING CONSULTANTS

“PARKSIDE” DEVELOPMENT
2825085 ONTARIO INC.

Draft Plan of Subdivision SB23-03-2
Zoning By-Law Amendment ZN2-23-05

November 20, 2024

Property



- 1.29ha (3.18ac)
- Vacant Site

Planning Context

- Designated “Medium Density Residential”
- Permits street fronting townhouses
- No Official Plan Amendment is required

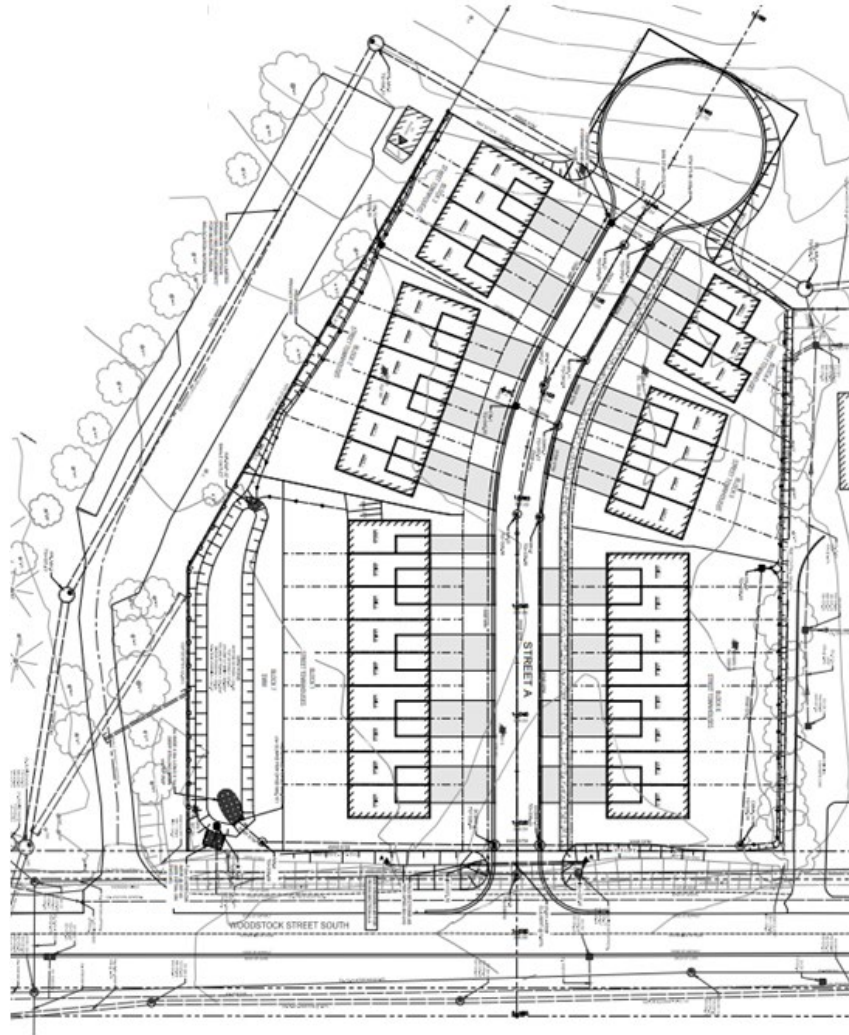
- Zoned – “D” (Development Zone)
- Zoning By-Law Amendment to change the zoning from “D” to site specific “R3” zones.

Draft Plan of Subdivision

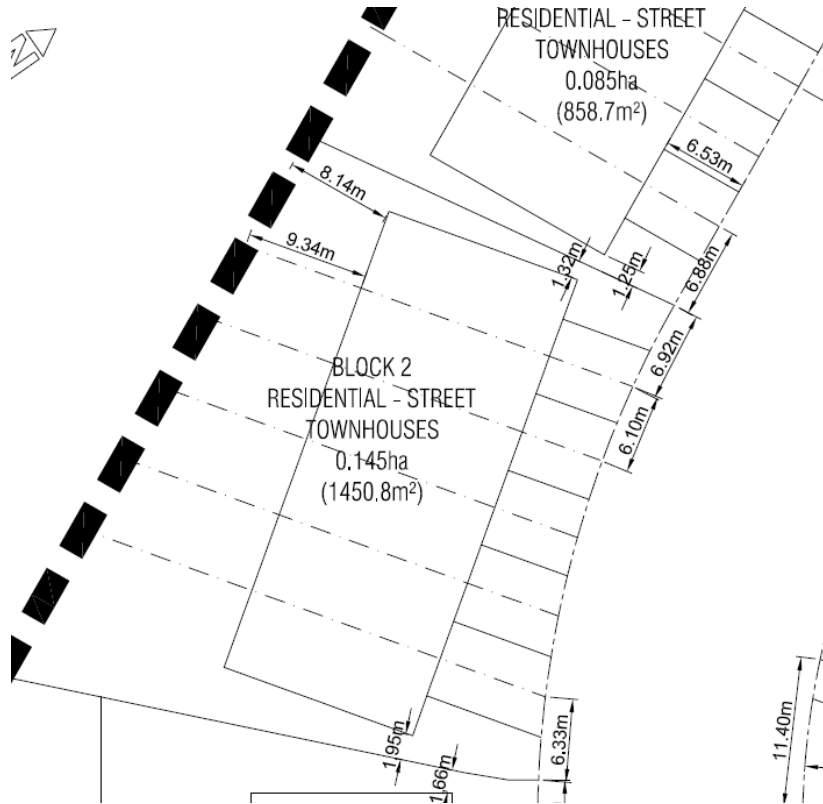


- Creation of a new public street
- 34 street fronting townhouses spread over 6 blocks
- A block for stormwater management

Development Plan

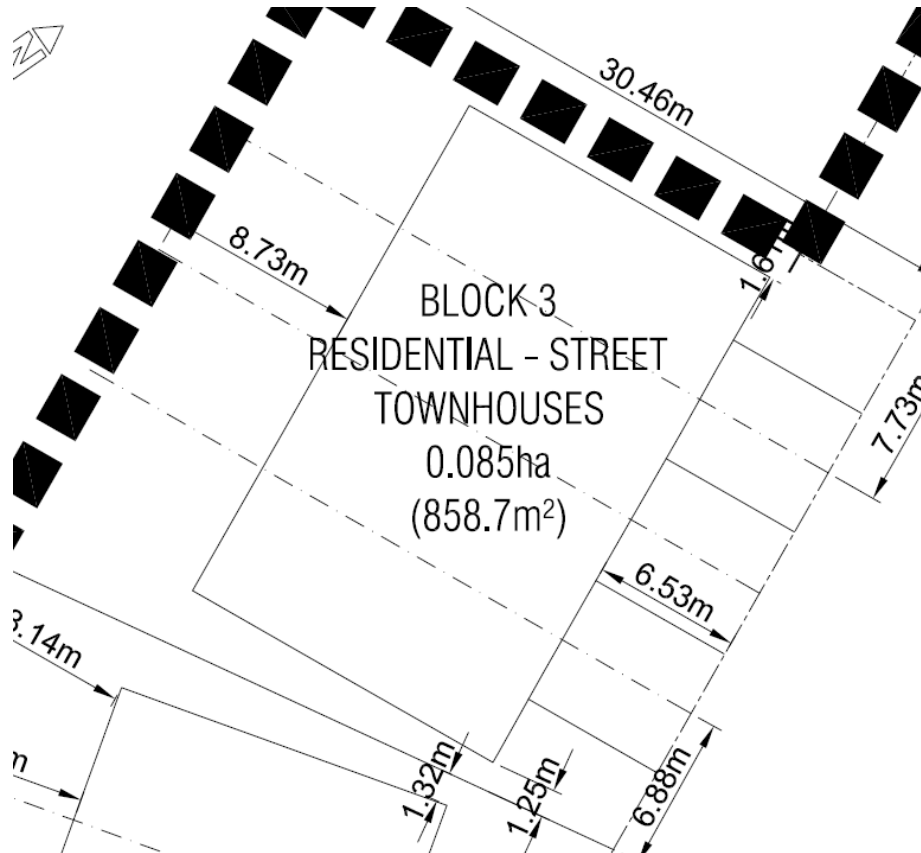


Zoning – Block 2



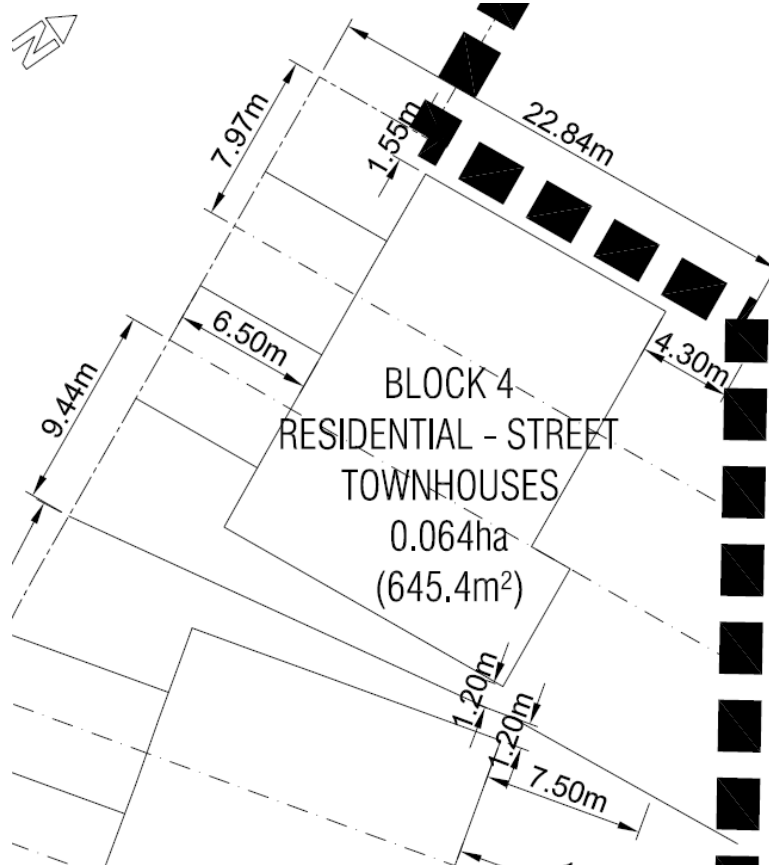
Block 2 - Zoning	Requirement	Zone Change from "D" to "R3..." (Residential Type 3 Zone- Site Specific)
Number of Dwellings or Dwelling Units, Maximum	8 dwelling units per dwelling	5 units proposed
Lot Area, Minimum	150.0 m ² (1,644.6 ft ²) per dwelling unit or 240.0 m ² (2,583.4 ft ²) for an end unit, except in no case shall the lot area for an end unit on a corner lot be less than 410 m ² (4,521 ft ²)	>150m ² for interior units >54.6m ² for end unit (min.)
Lot Frontage, Minimum	8.0 m (26.2 ft) per dwelling unit or 11.0 m (36.1 ft) for an end unit, except in no case shall the lot frontage for the end unit on a corner lot be less than 18.7 m (59.1 ft)	5.0m for interior lots 5.3m for end unit
Lot Depth	30m	30.6m
Front Yard, Minimum Depth	9m	5.5m
Rear Yard, Minimum Depth	7.5m	5.1m
Interior Side Yard	1.5m for end dwelling units	1.3m
Setback from CA of a County Road	22m	N/A
Lot Coverage (all buildings)	50%	48.1%
Height of Building, Maximum	11m	+/-<11m
Landscaped Open Space, Minimum	30%	40.3%
Amenity Area, Minimum	No Provision	N/A
Parking Required	2 per dwelling unit	2
Section 5.19.4	In no case shall the width of a garage attached to a dwelling exceed 50% of the lot width measured from the centreline of the interior wall to the outside of the exterior wall. In no case shall the width of a garage attached to a dwelling exceed 75% of the building measured from the centreline of the interior wall to the outside of the exterior wall.	56%
5.15.3.1	All yards, provided that no more than 50% of the front yard or exterior side yard is used for a parking area	+/-<50%

Zoning – Block 3



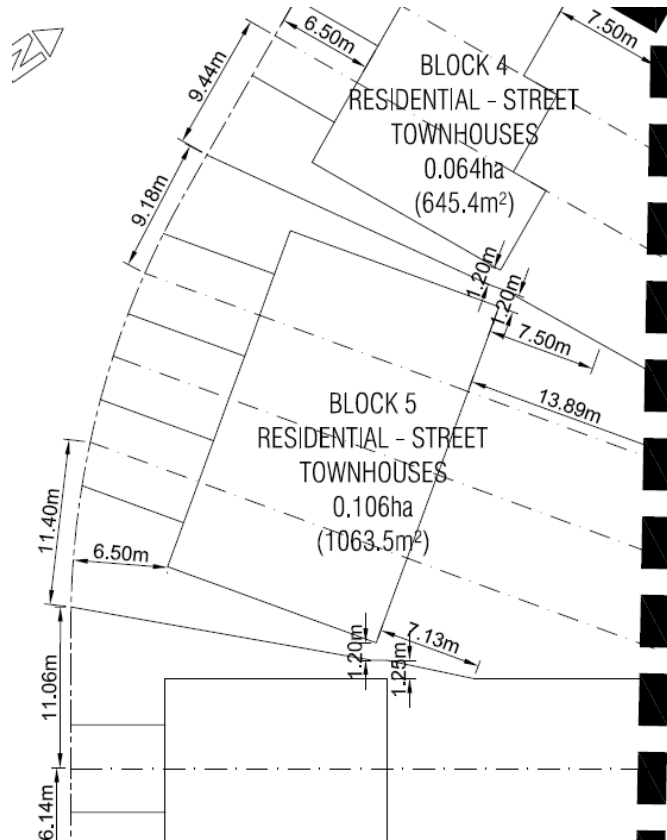
Block 3 - Zoning	Requirement	Zone Change from "D" to "R3..." (Residential Type 3 Zone - Site Specific)
Number of Dwellings or Dwelling Units, Maximum	8 dwelling units per dwelling	4 units
Lot Area, Minimum	150.8 m ² (1,614.6 ft ²) per dwelling unit or 240.8 m ² (2,583.4 ft ²) for an end unit, except in case shall the lot area for an end unit on a corner lot be less than 420 m ² (4,521 ft ²)	+150m ² for inter or units 236 m² for end unit
Lot Frontage, Minimum	8.0 m (26.2 ft) per dwelling unit or 11.0 m (36.1 ft) for an end unit, except in a case shall the lot frontage for the end unit on a corner lot be less than 18.0 m (59.1 ft)	6.8m for interior lots 6.7m for end unit
Lot Depth	30m	30.4m
Front Yard, Minimum Depth	9m	6.5m
Rear Yard, Minimum Depth	7.5m	8.1m
Interior Side Yard	1.5m for end dwelling units	1.2m
Setback from C/L of a County Road	22m	N/A
Lot Coverage (all buildings)	50%	49.9%
Height of Building, Maximum	11m	=/11m
Landscaped Open Space, Minimum	30%	37.1%
Amenity Area, Minimum	No P. ovision	N/A
Parking Required	2 per dwelling unit	2
Section 5.19.4	In no case shall the width of a garage attached to a dwelling exceed 50% of the lot width measured from the centreline of the interior wall to the outside of the exterior wall. In no case shall the width of a garage attached to a dwelling exceed 75% of the building measured from the centreline of the interior wall to the outside of the exterior wall.	56%
5.19.3.1	All yards, provided that no more than 50% of the front yard or exterior side yard is used for a parking area.	=/50%

Zoning – Block 4



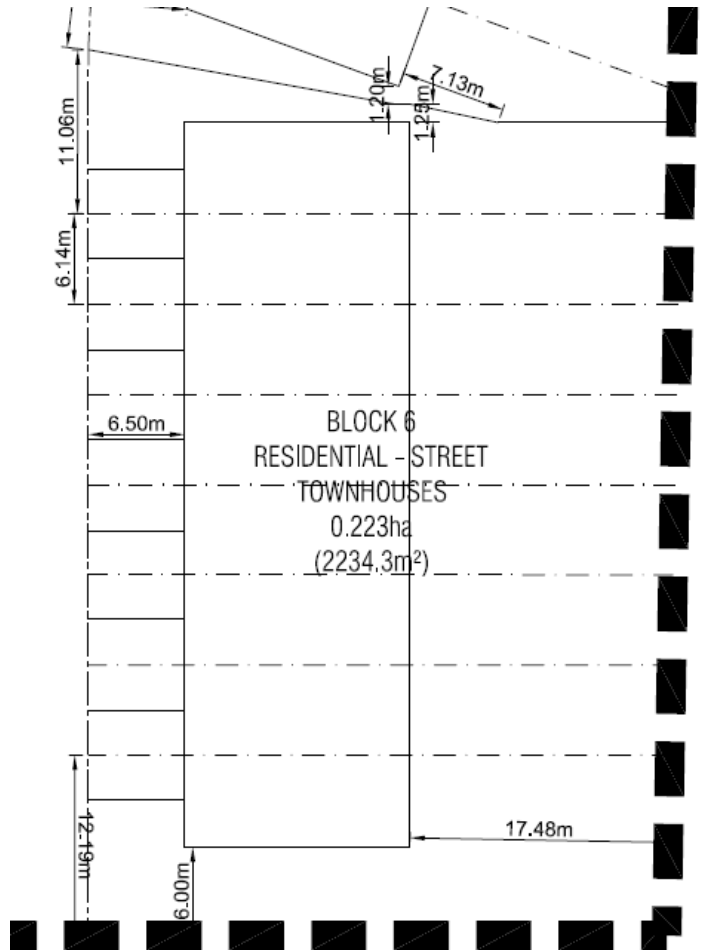
Block 4 - Zoning	Requirement	Zone Change from "D" to "R3-..." (Residential Type 3 Zone-Site Specific)
Number of Dwellings or Dwelling Units, Maximum	8 dwelling units per dwelling	3 units
Lot Area, Minimum	150.0 m ² (1,614.6 ft ²) per dwelling unit or 240.0 m ² (2,583.4 ft ²) for an end unit, except in no case shall the lot area for an end unit on a corner lot be less than 420 m ² (4,521 ft ²)	>150m ² for interior unit 201m² for end unit
Lot Frontage, Minimum	8.0 m (26.2 ft) per dwelling unit or 11.0 m (36.1 ft) for an end unit, except in no case shall the lot frontage for the end unit on a corner lot be less than 18.0 m (59.1 ft)	6.0m for interior unit 7.5m for end unit
Lot Depth	30m	22.8m
Front Yard, Minimum Depth	9m	6.5m
Rear Yard, Minimum Depth	7.5m	4.3m
Interior Side Yard	1.5m for end dwelling units	1.2m
Setback from C/L of a County Road	22m	N/A
Lot Coverage (all buildings)	50%	42.5%
Height of Building, Maximum	11m	≠/ < 11m
Landscaped Open Space, Minimum	30%	43.7%
Amenity Area, Minimum	No Provision	N/A
Parking Required	2 per dwelling unit	2
Section 5.19.4	In no case shall the width of a garage attached to a dwelling exceed 50% of the lot width measured from the centreline of the interior wall to the outside of the exterior wall. In no case shall the width of a garage attached to a dwelling exceed 75% of the building measured from the centreline of the interior wall to the outside of the exterior wall.	56%
5.15.3.1	All yards, provided that no more than 50% of the front yard or exterior side yard is used for a parking area.	≠/ < 50%

Zoning – Block 5



Block 5 - Zoning	Requirement	Zone Change from "D" to "R3-___" (Residential Type 3 Zone-Site Specific)
Number of Dwellings or Dwelling Units, Maximum	8 dwelling units per dwelling	4 units
Lot Area, Minimum	150.0 m ² (1,614.6 ft ²) per dwelling unit or 240.0 m ² (2,583.4 ft ²) for an end unit, except in no case shall the lot area for an end unit on a corner lot be less than 420 m ² (4,521 ft ²)	>150m ² for interior lots 279.3m ² for end unit
Lot Frontage, Minimum	8.0 m (26.2 ft) per dwelling unit or 11.0 m (36.1 ft) for an end unit, except in no case shall the lot frontage for the end unit on a corner lot be less than 18.0 m (59.1 ft)	6.4m for interior unit 9.2m for end unit
Lot Depth	30m	34.7m
Front Yard, Minimum Depth	9m	6.5m
Rear Yard, Minimum Depth	7.5m	7.2m
Interior Side Yard	1.5m for end dwelling units	1.2m
Setback from C/L of a County Road	22m	N/A
Lot Coverage (all buildings)	50%	39.4%
Height of Building, Maximum	11m	≠<11m
Landscaped Open Space, Minimum	30%	49.3%
Amenity Area, Minimum	No Provision	N/A
Parking Required	2 per dwelling unit	2
Section 5.19.4	In no case shall the width of a garage attached to a dwelling exceed 50% of the lot width measured from the centreline of the interior wall to the outside of the exterior wall. In no case shall the width of a garage attached to a dwelling exceed 75% of the building measured from the centreline of the interior wall to the outside of the exterior wall.	50%
5.19.3.1	All yards, provided that no more than 50% of the front yard or exterior side yard is used for a parking area.	≠<50%

Zoning – Block 6



Block 6 - Zoning	Requirement	Zone Change from "D" to "R3-___" (Residential Type 3 Zone- Site Specific)
Number of Dwellings or Dwelling Units, Maximum	8 dwelling units per dwelling	8 units
Lot Area, Minimum	150.0 m ² (1,614.6 ft ²) per dwelling unit or 240.0 m ² (2,583.4 ft ²) for an end unit, except in no case shall the lot area for an end unit on a corner lot be less than 420 m ² (4,521 ft ² .)	>150m ² for interior units 304.1m ² for end unit 479.6m ² for corner unit
Lot Frontage, Minimum	8.0 m (26.2 ft) per dwelling unit or 11.0 m (35.1 ft) for an end unit, except in no case shall the lot frontage for the end unit on a corner lot be less than 18.0 m (59.1 ft)	6.0m for interior units 11.0m for end unit 12.0m for corner unit
Lot Depth	30m	39m
Front Yard, Minimum Depth	9m	6.5m
Exterior Side Yard, Minimum Width	9m	6.0m
Rear Yard, Minimum Depth	7.5m	≈/>7.5m
Interior Side Yard	1.5m for end dwelling units	1.2m
Setback from C/L of a County Road	22m	21.0m
Lot Coverage (all buildings)	50%	38.2%
Height of Building, Maximum	11m	≈/<11m
Landscaped Open Space, Minimum	30%	52.8%
Amenity Area, Minimum	No Provision	N/A
Parking Required	2 per dwelling unit	2
Section 5.19.4	In no case shall the width of a garage attached to a dwelling exceed 50% of the lot width measured from the centreline of the interior wall to the outside of the exterior wall. In no case shall the width of a garage attached to a dwelling exceed 75% of the building measured from the centreline of the interior wall to the outside of the exterior wall.	50%
5.19.3.1	All yards, provided that no more than 50% of the front yard or exterior side yard is used for a parking area.	≈/<50%

Closing Comments

- Proposal is consistent with the Provincial Planning Statement 2024. Conforms to the Official Plan and provides housing to implement the medium density residential designation.
- Site specific zoning is requested to recognize a more compact form of development and to reflect the property shape and size which directed the shape of each block of the subdivision.
- Request Council to approve the zoning as proposed.

Thank you

Questions?